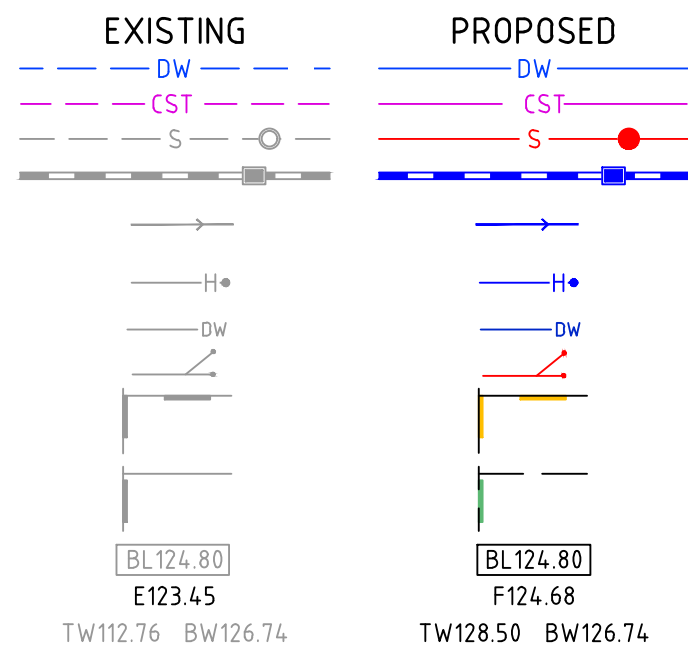


DESCRIPTION
WATER MAIN
COMMON SERVICE TRENCH
SEWER & MAINTENANCE STRUCTURE
COUNCIL STORMWATER DRAIN AND PIT
STORM WATER DRAINAGE PROPERTY KERB ADAPTOR
CONNECTION
STORM WATER DRAINAGE PROPERTY CONNECTION
UNDERGROUND
DRINKING WATER LOT CONNECTION
SEWER PROPERTY CONNECTION
VEHICLE CROSSING ALLOWANCE WITH PROVISION FOR
BOUNDARY BUILD



VEHICLE CROSSING ALLOWANCE WITH OFFSET

BENCHMARK LEVEL (REFER TO NOTE 2)
SURFACE LEVEL
RETAINING WALL LEVEL (TOP/BOTTOM)
LOT FALL DIRECTION

LIMIT OF WORKS

FILLING GREATER THAN 0.20m

BENCHED ALLOTMENTS

RETAINING WALL 0-3m

STEPPED RETAINING WALL, LOWER RETAINING WALL
WILL BE 1m HIGHER RETAINING WALL HEIGHT VARIES
AS PER THE DIAGRAM ON PAGE 3

PLINTH FENCE BY BUILDER/HOME OWNER

FENCE - VEHICLE EXCLUSION

FENCE - COLOURBOND

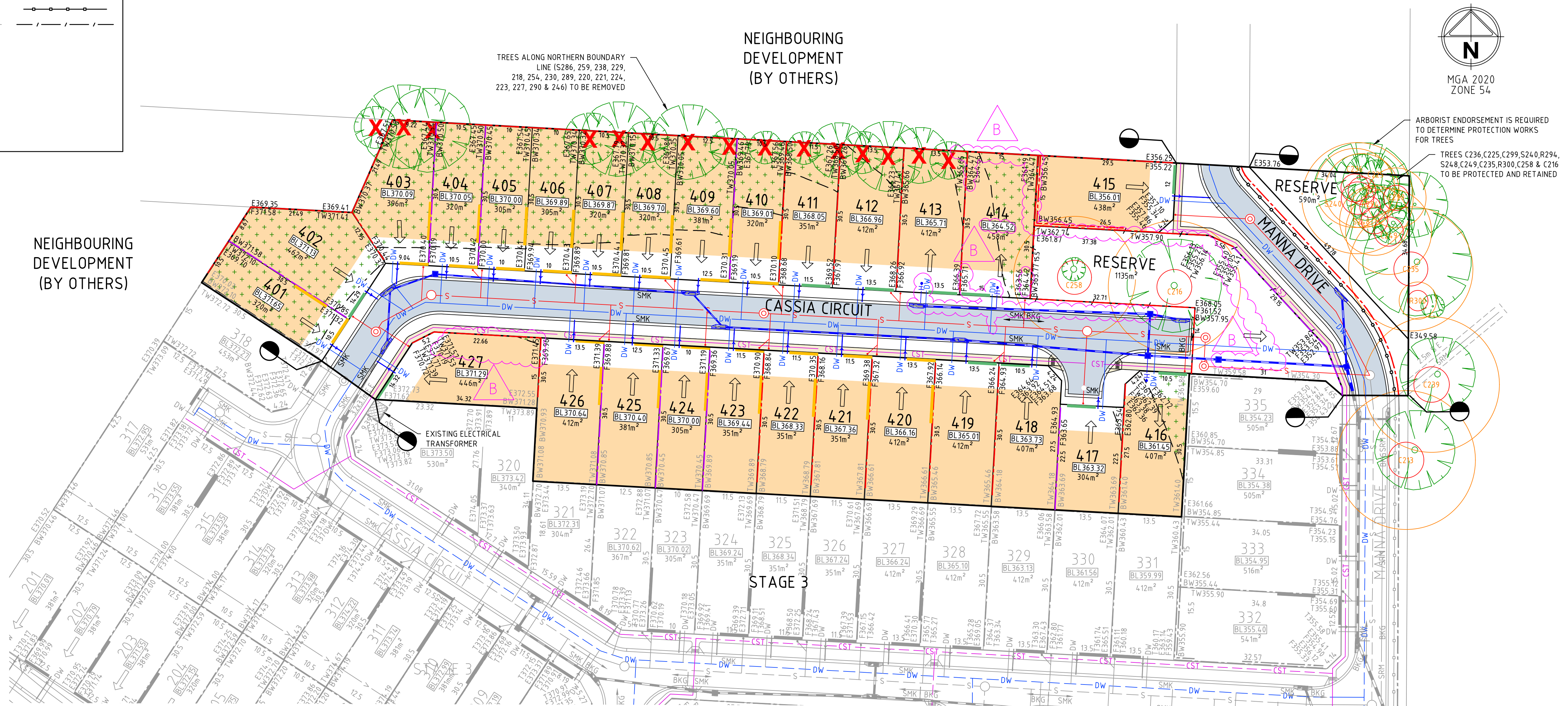
TO BE REMOVED

TREE TO BE PROTECTED

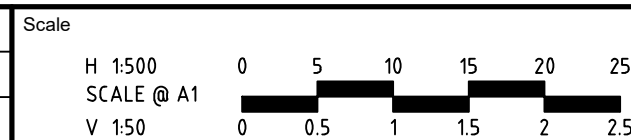
STRUCTURAL ROOT ZONE

NOTES

1. LOTS ARE GRADED WITH 1% FALL EITHER TOWARDS ROAD OR REAR OF LOT. REFER TO LOT FALL ARROWS FOR DIRECTION OF FALL.
2. BENCHMARKED LEVELS SHOWN ARE AT BENCHMARK SURFACE EXCLUDING 200mm TOPSOIL. THIS LEVEL REPRESENTS A POINT AT THE BUILDING ENVELOPE ON THE CROSSOVER SIDE. A 5.5m SETBACK APPLIES FROM THE FRONT OF LOT BOUNDARY. THIS POINT SITS ON THE SIDE OF LOT BOUNDARY WHERE THE CROSSOVER HAS A PROVISION FOR A BOUNDARY BUILD AND OFFSET 0.9m ELSEWHERE.
3. FRONT OF LOT BATTERS (NOT SHOWN) GRADE AT 1 IN 5. MAXIMUM BATTERS OF 5.0m UNLESS NOTED OTHERWISE.
4. IT IS ASSUMED THAT 200mm TOPSOIL IS TO BE PLACED ON ALL LOTS AND INCLUDED IN F, BW & TW LEVELS SHOWN.
5. FILL HATCHES SHOWN ARE TAKEN FROM THE INTERACTION OF THE FINISHED SURFACE AND EXISTING SURFACE LEVEL INCLUSIVE OF TOPSOIL.
6. THESE PLANS ARE PRELIMINARY ONLY AND HAVE NOT BEEN APPROVED BY COUNCIL. THEY ARE SUBJECT TO CHANGE WITHOUT NOTICE AND HAVE BEEN PROVIDED AS A GUIDE ONLY.
7. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE PEGGING AND BUILDING ENVELOPE PLANS. IF ANY DISCREPANCIES ARE IDENTIFIED BETWEEN THE PLANS, THE PEGGING AND BUILDING ENVELOPE PLANS TAKES PRECEDENCE.
8. THE DEPTHS DO NOT TAKE INTO ACCOUNT ANY REMOVAL OF TOPSOIL, GRUBBING, OR PERMANENT INFRASTRUCTURE WITHIN THE SUBDIVISION.
9. SPIRE WILL NOT BE LIABLE FOR ANY LOSS OR DAMAGES INCURRED OR SUFFERED BY ANY PARTY DUE TO THE USE OF THE PLAN OR RELYING ON INFORMATION CONTAINED WITH THE PLAN.
10. LOT 416 TO HAVE LOT CONTROLLED DRAINAGE.



B	LOT 413 & 414 SWD, LOT 427 BENCHING & LOT 414 LVLS & DRIVEWAY	RD	27/11/25
A	ISSUED TO CLIENT	RD	24/11/25
Rev	Amendments	Approved	Date



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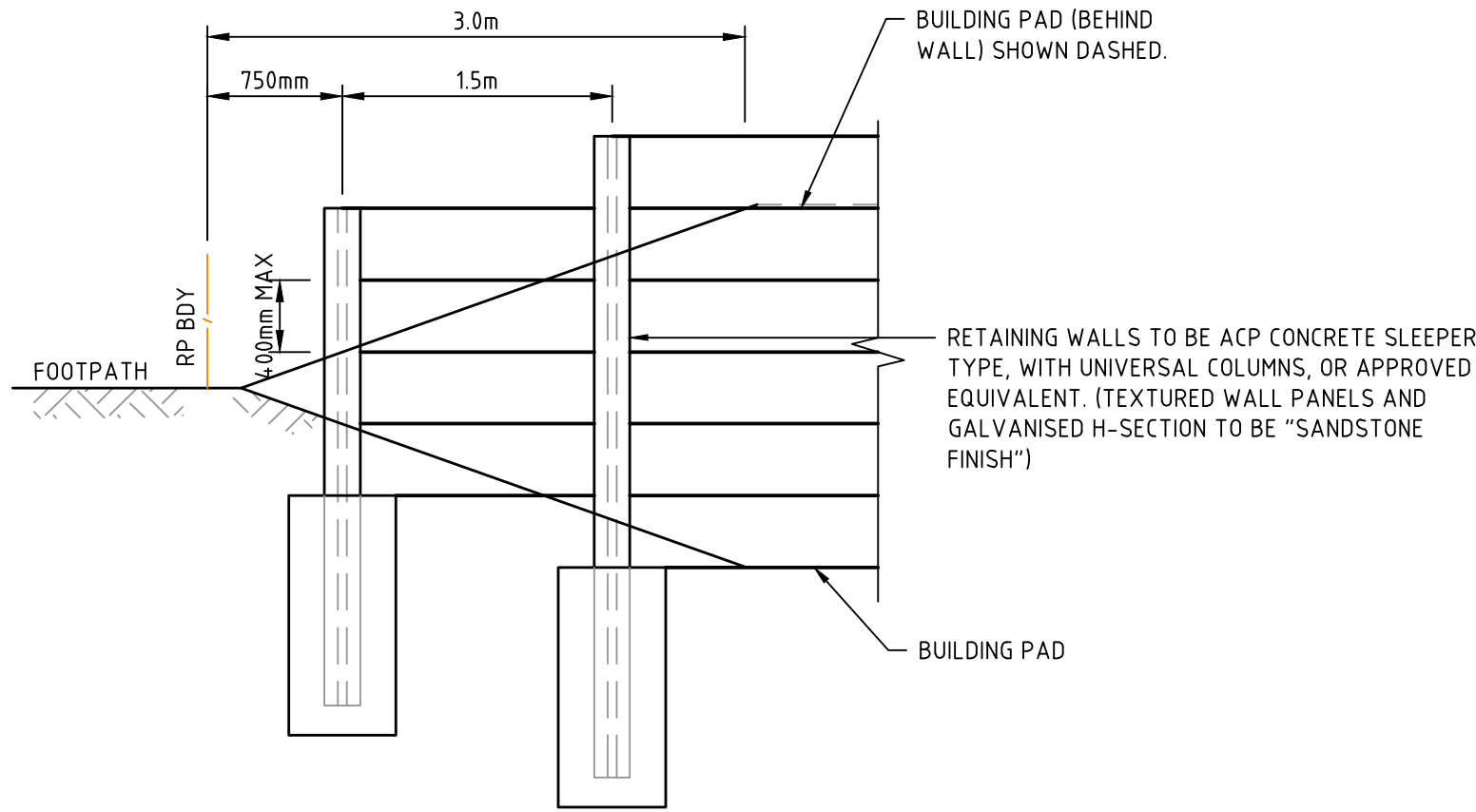
Designed
L. SIMONELLI
Authorised
R. DESSENS

Checked
J. POYNER
Date
21/11/25

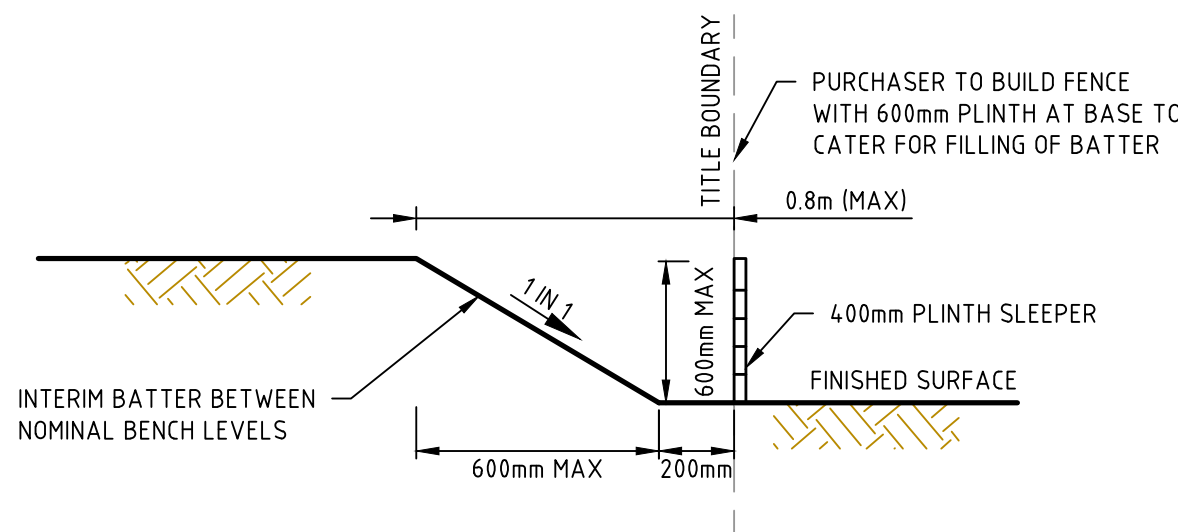
**LARKVIEW ESTATE
STAGE 4
SALES PLAN
FACE PLAN
MOUNT BARKER DISTRICT COUNCIL
JINDING**

PRELIMINARY Drg No 322210-004CG100 Rev B

- NOTES:
1. RETAINING WALLS TO BE CONCRETE SLEEPERS WITH COLORBOND FENCE.
 2. RETAINING WALL DESIGN SUBJECT TO CHANGE. REFER TO STRUCTURAL DRAWINGS (BC2507065-ST-DR).

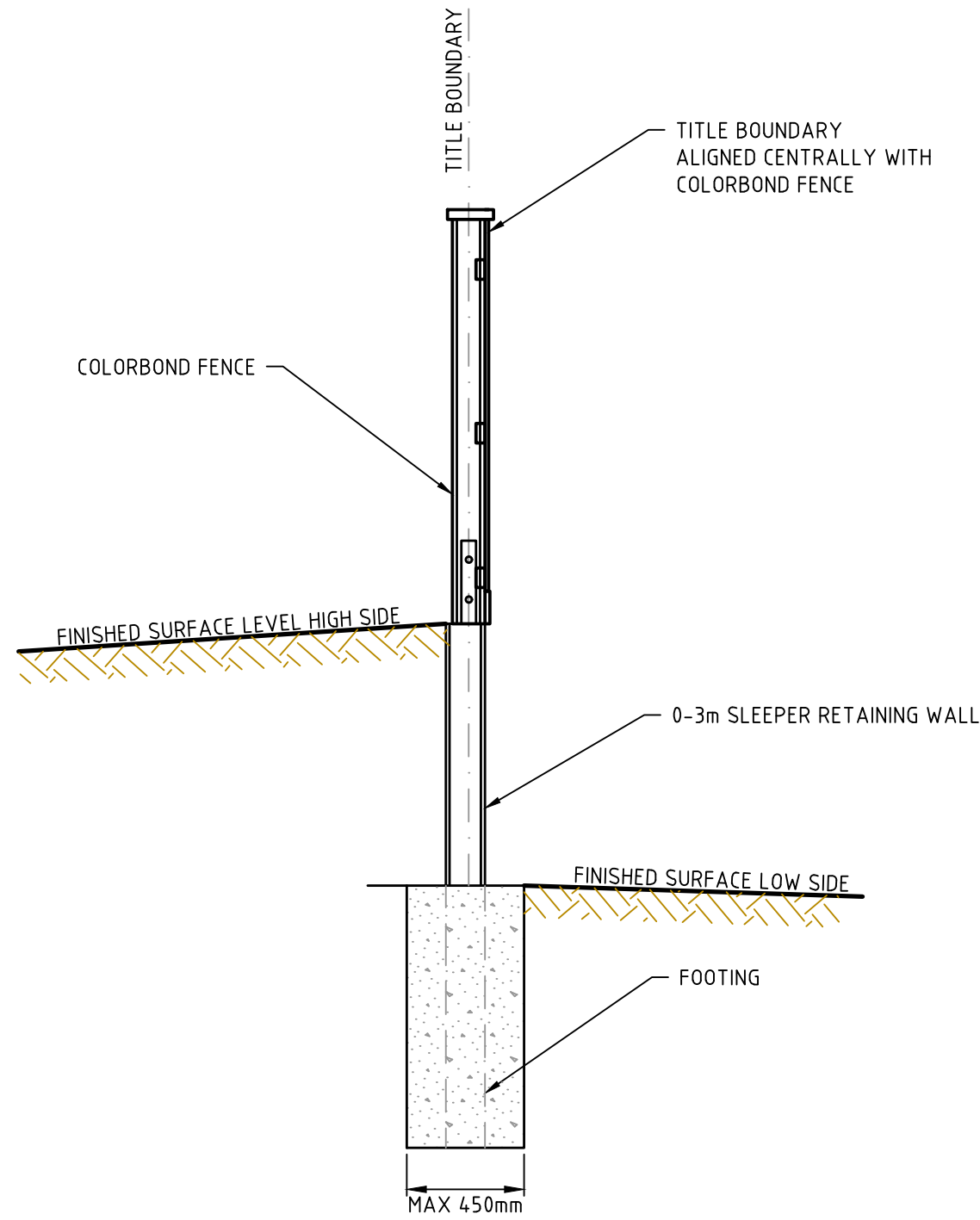


TYPICAL RETAINING WALL ELEVATION AT FRONT OF ALLOTMENTS

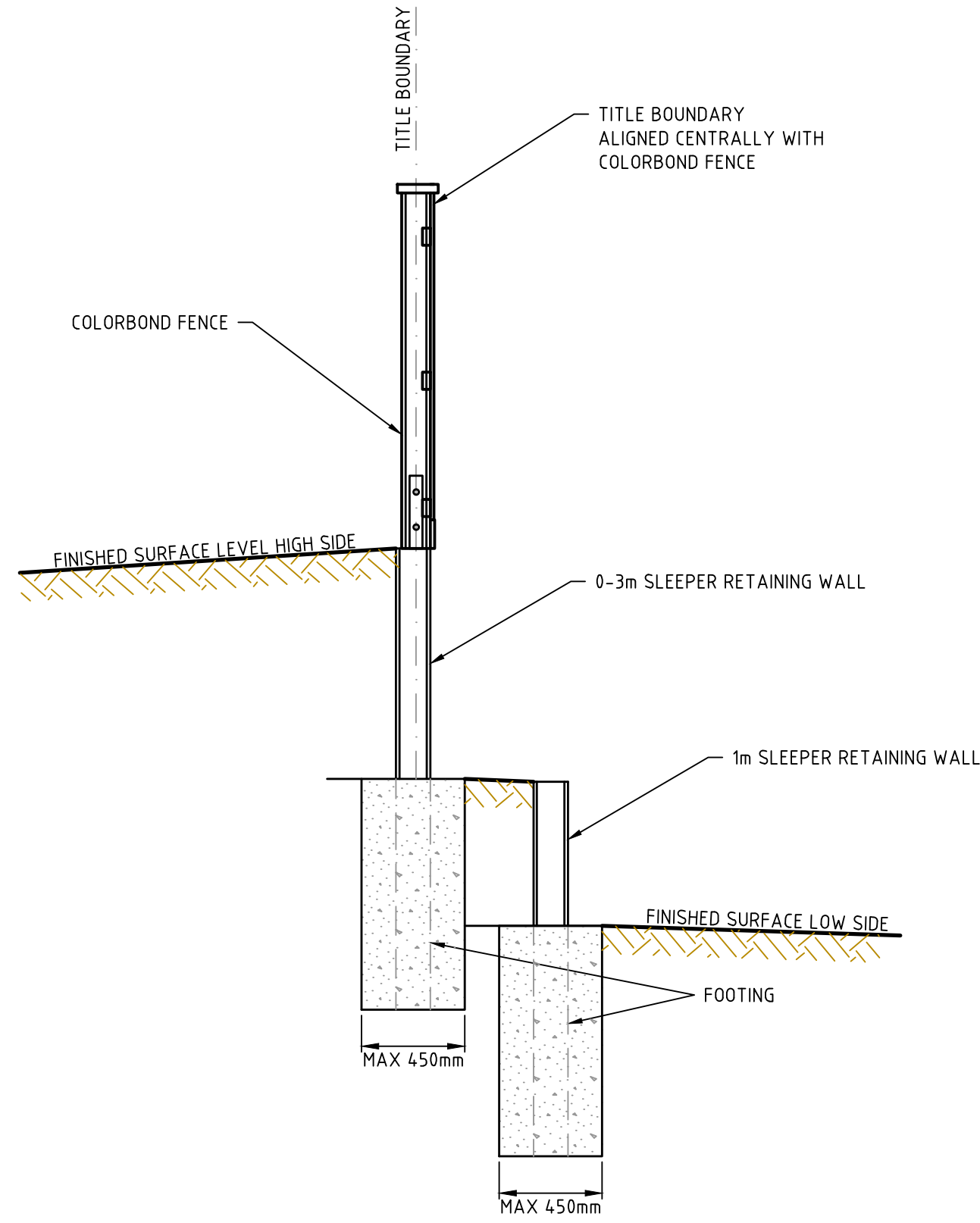


TYPICAL ALLOTMENT BENCHING DETAIL

- NOTE:
1. NOMINAL BENCH LEVELS ARE INDICATIVE ONLY AND TO BE DETERMINED BY BUILDERS FOR INDIVIDUAL ALLOTMENTS. BENCH LEVELS ARE TO THE TOP OF NATURAL SURFACE INCLUDING TOPSOIL.

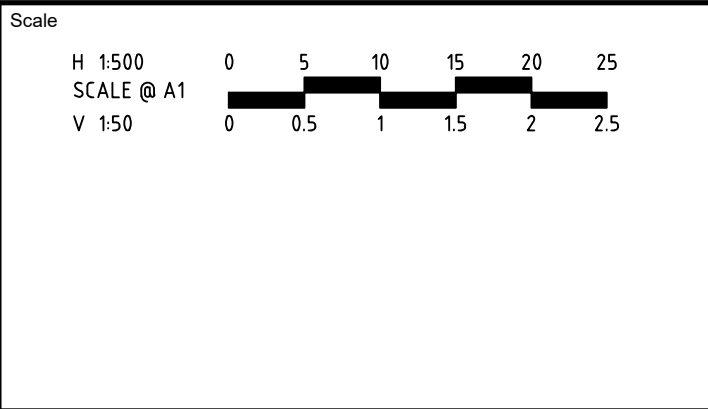


0-3m RETAINING WALL DETAIL



3-4m STEPPED RETAINING WALL DETAIL

Rev	Amendments	Approved	Date
A	ISSUED TO CLIENT	RD	24/11/25



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LV
LARKVIEW
RT MARKERS

Designed
L. SIMONELLI
Authorised
R. DESSENS

Checked
J. POYNER
Date
21/11/25

**LARKVIEW ESTATE
STAGE 4
SALES PLAN
RETAINING WALL DETAIL**
MOUNT BARKER DISTRICT COUNCIL
JINDING

PRELIMINARY Drg No **322210-004CG101** Rev **A**