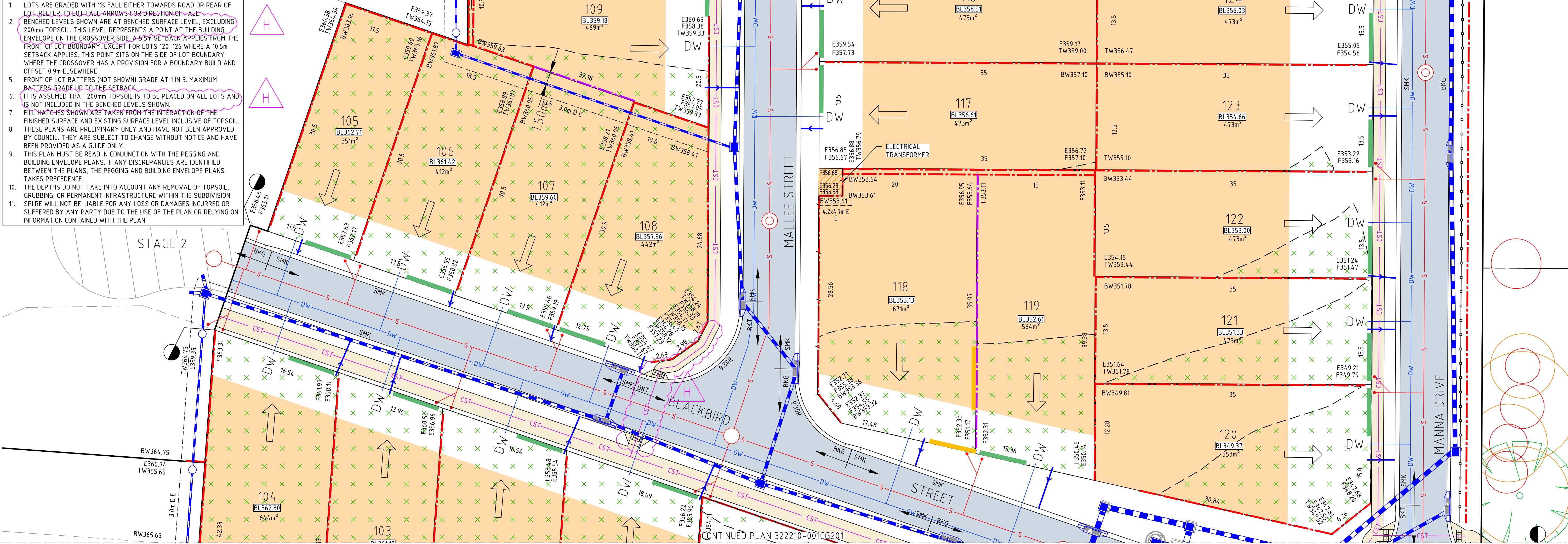


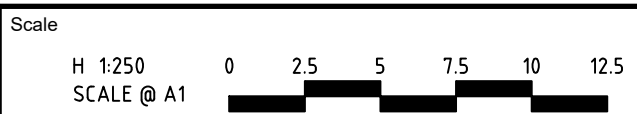
DESCRIPTION

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN		
COMMON SERVICE TRENCH		
SEWER & MAINTENANCE STRUCTURE		
COUNCIL STORMWATER DRAIN AND PIT		
STORM WATER DRAINAGE PROPERTY CONNECTION		
STORM WATER DRAINAGE PROPERTY CONNECTION		
DRINKING WATER LOT CONNECTION		
SEWER PROPERTY CONNECTION		
VEHICLE CROSSING ALLOWANCE WITH PROVISION FOR BOUNDARY BUILD		
VEHICLE CROSSING ALLOWANCE WITH OFFSET		
BENCHMARK LEVEL (REFER TO NOTE 2)	E123.45	BL124.80
SURFACE LEVEL	EW112.76	F124.68
RETAINING WALL LEVEL (TOP/BOTTOM)		TW128.50 BW126.74
LIMIT OF WORKS		
FILLING GREATER THAN 0.20m		
BENCHMARK ALLOTMENTS		
SEWER PUMP STATION		
RETAINING WALL 0-3m		
STEPPED RETAINING WALL, LOWER		
RETAINING WALL WILL BE 1m HIGHER		
RETAINING WALL HEIGHT VARIES AS PER THE DIAGRAM ON PAGE 3		
FENCE - COLORBOND		
FENCE - VEHICLE EXCLUSION		
TREE (& SURVEYED CANOPY) TO BE RETAINED		
TREE TO BE PROTECTED		

1. LOTS ARE GRADED WITH 1% FALL EITHER TOWARDS ROAD OR REAR OF LOT. REFER TO LOT FALL ARROWS FOR DIRECTION OF FALL.
2. BENCHMARKED LEVELS SHOWN ARE AT BENCHMARK SURFACE LEVEL, EXCLUDING 200mm TOPSOIL. THIS LEVEL REPRESENTS A POINT AT THE BUILDING ENVELOPE ON THE CROSSOVER SIDE. A 55mm SETBACK APPLIES FROM THE FRONT OF LOT BOUNDARY, EXCEPT FOR LOTS 120-126 WHERE A 10.5m SETBACK APPLIES. THIS POINT SITS ON THE SIDE OF LOT BOUNDARY WHERE THE CROSSOVER HAS A PROVISION FOR A BOUNDARY BUILD AND A 0.9m ELSH THERE.
3. FRONT OF LOT BATTERS (NOT SHOWN) GRADE AT 1 IN 5. MAXIMUM BATTERS GRADE UP TO THE SETBACK.
4. IT IS ASSUMED THAT 200mm TOPSOIL IS TO BE PLACED ON ALL LOTS AND IS NOT INCLUDED IN THE BENCHMARKED LEVELS SHOWN.
5. FILL HATCHES SHOWN ARE TAKEN FROM THE INTERACTION OF THE FINISHED SURFACE AND EXISTING SURFACE LEVEL INCLUSIVE OF TOPSOIL. THESE PLANS ARE PRELIMINARY ONLY AND HAVE NOT BEEN APPROVED BY COUNCIL. THEY ARE SUBJECT TO CHANGE WITHOUT NOTICE AND HAVE BEEN PROVIDED AS A GUIDE ONLY.
6. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE PEGGING AND BUILDING ENVELOPE PLANS. IF ANY DISCREPANCIES ARE IDENTIFIED BETWEEN THE PLANS, THE PEGGING AND BUILDING ENVELOPE PLANS TAKE PRECEDENCE.
7. THE DEPTHS DO NOT TAKE INTO ACCOUNT ANY REMOVAL OF TOPSOIL, GRUBBING, OR PERMANENT INFRASTRUCTURE WITHIN THE SUBDIVISION.
8. SPIRE WILL NOT BE LIABLE FOR ANY LOSS OR DAMAGES INCURRED OR SUFFERED BY ANY PARTY DUE TO THE USE OF THE PLAN OR RELYING ON INFORMATION CONTAINED WITH THE PLAN.



H	NOTES, LEGEND, PRAM X-ING, LOT 101 X-OVER, LOT 109 RW, BL LVS, LOT 105, 108-110, 113-114, 118 & 120 LVS	R.D.	01-10-25
G	ISSUED TO CLIENT - LOT 118 BENCH LVL	R.D.	03-09-25
F	ISSUED TO CLIENT - UPDATED LOT 118 LVL'S & ADDITION OF ELEC. TRANSFORMER EASEMENT, & VE. FENCING	R.D.	14-07-25
E	ISSUED TO CLIENT - LEGEND	R.D.	27-06-25
D	ISSUED TO CLIENT - BATTERS REMOVED, HATCHING, X-OVERS, NOTES & LEGEND	R.D.	24-06-25
C	ISSUED TO CLIENT - BL LEVELS, CROSSOVERS, NOTES & LEGEND	R.D.	20-06-25
B	ISSUED TO CLIENT - HATCHING	R.D.	19-06-25
A	ISSUED TO CLIENT	R.D.	18-06-25
Rev	Amendments	Approved	Date



© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

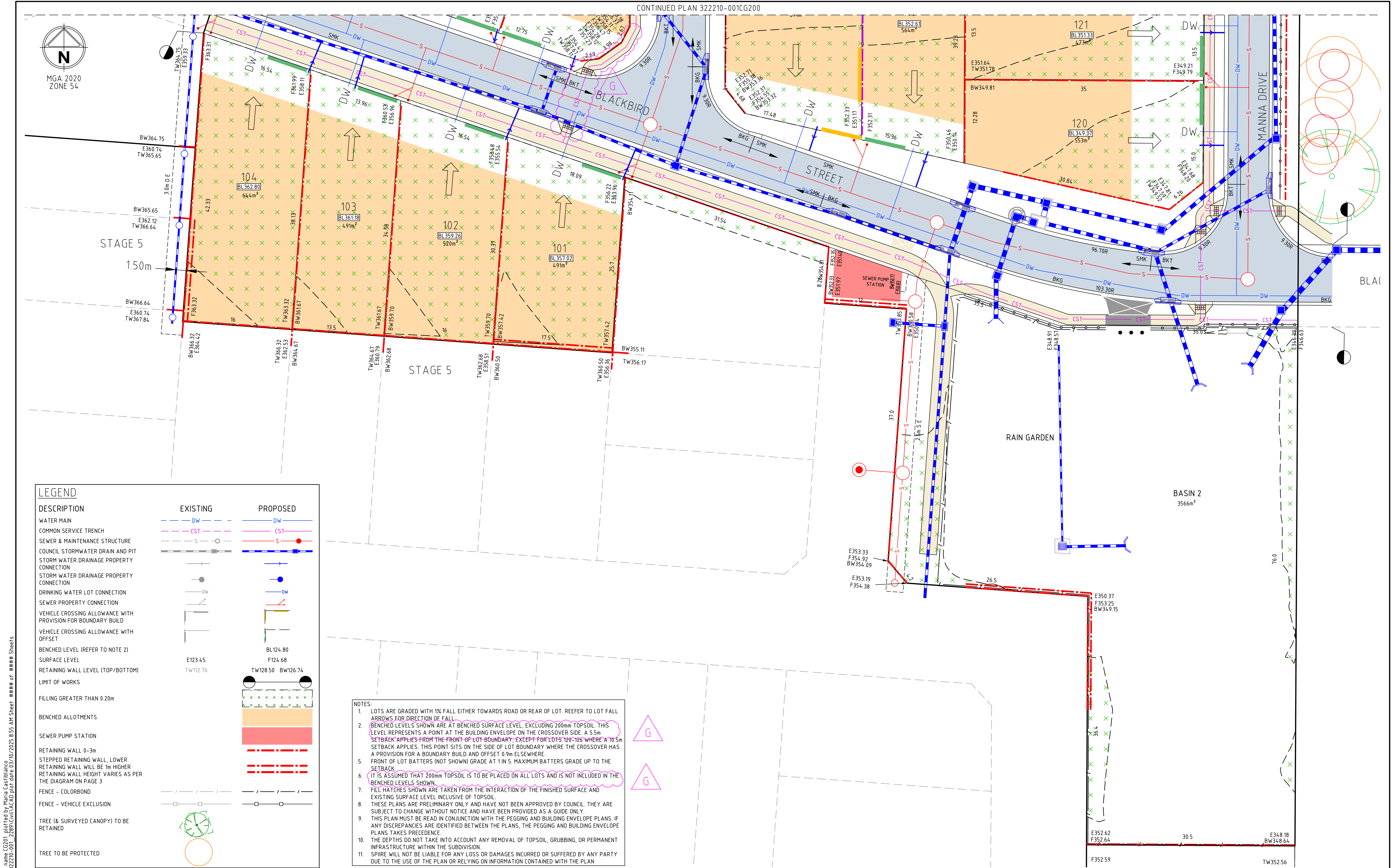
Suite 1, Level 2/12 Pirie Street Adelaide
SA 5000 Australia T 08 8330 5000
spiire.com.au ABN 55 050 029 635

Designed
L. SIMONELLI
Authorised
R. DESSENS

Checked
J. POYNER
Date
JUNE 25

**LARKVIEW ESTATE
STAGE 1
LARKVIEW ESTATE
SALES PLAN - SHEET 1 OF 2
MOUNT BARKER DISTRICT COUNCIL
JINDING**

PRELIMINARY Urg No Rev
322210-001CG200 H



G	NOTES, LEGEND, PRAM X-ING, LOT 101 X-OVER, LOT 102 RW, BL LVLS, LOT 101-102, 108 & 118 LVLS	R.D.	01-10-25
F	ISSUED TO CLIENT - UPDATED LOT 118 LVLS & ADDITION OF ELEC. TRANSFORMER EASEMENT, & VE FENCING	R.D.	14-07-25
E	ISSUED TO CLIENT - LEGEND	R.D.	27-06-25
D	ISSUED TO CLIENT - BATTERS REMOVED, HATCHING, X-OVERS, NOTES & LEGEND	R.D.	24-06-25
C	ISSUED TO CLIENT - BL LEVELS, NOTES & LEGEND	R.D.	20-06-25
B	ISSUED TO CLIENT - HATCHING	R.D.	19-06-25
A	ISSUED TO CLIENT	R.D.	18-06-25
Rev	Amendments	Approved	Date

Scale

H 1250
SCALE @ A1

0 2.5 5 7.5 10 12.5

© Spiire Australia Pty Ltd All Rights Reserved

This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

Suite 1, Level 2/12 Pirie Street Adelaide
SA 5000 Australia T 08 8330 5000
spiire.com.au ABN 55 050 029 635

LV LARKVIEW
MT BARKER

Designed
L. SIMONELLI

Authorised
R. DESSENS

Checked
J. POYNER

Date
JUNE 25

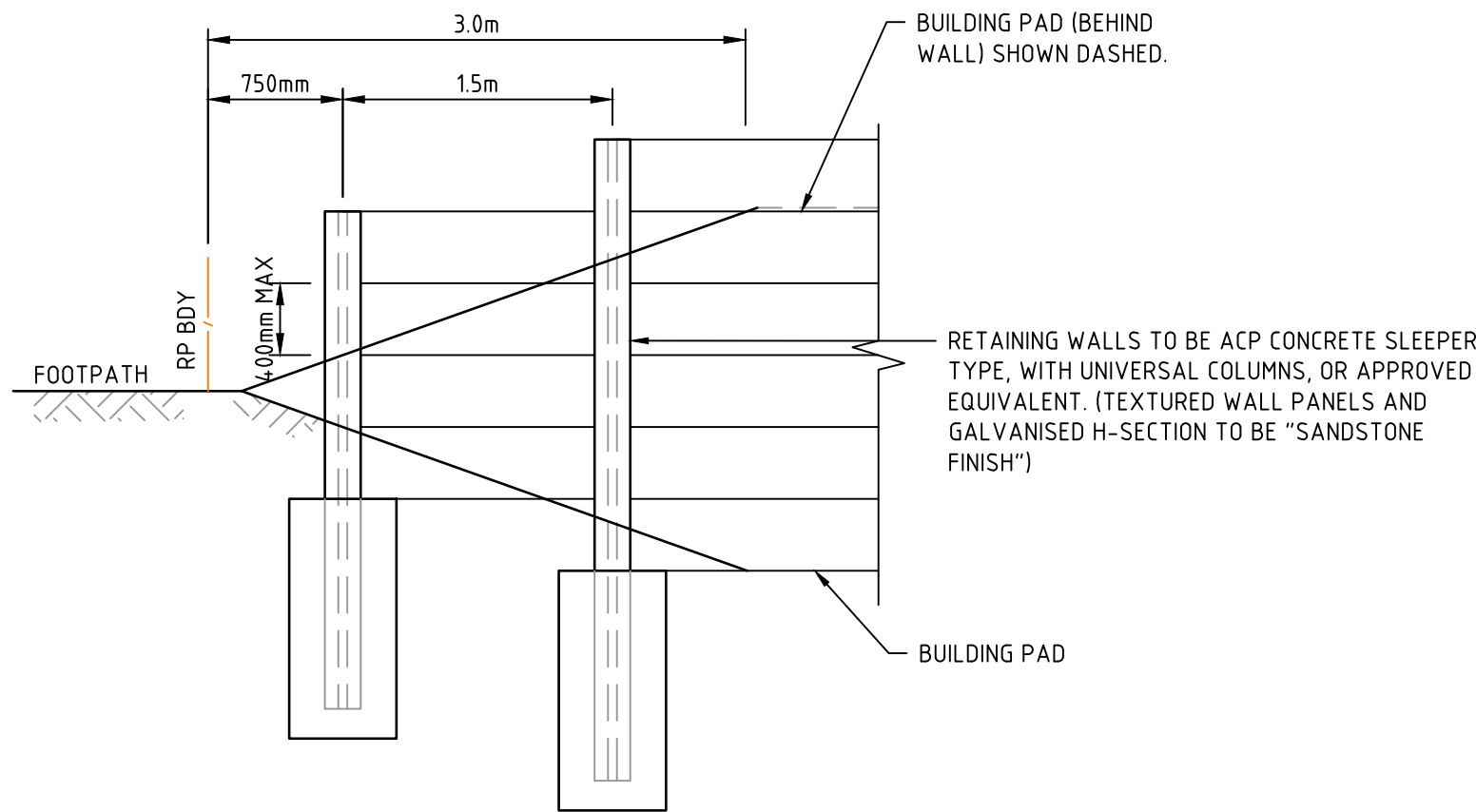
**LARKVIEW ESTATE
STAGE 1
LARKVIEW ESTATE
SALES PLAN - SHEET 2 OF 2
MOUNT BARKER DISTRICT COUNCIL
JINDING**

PRELIMINARY

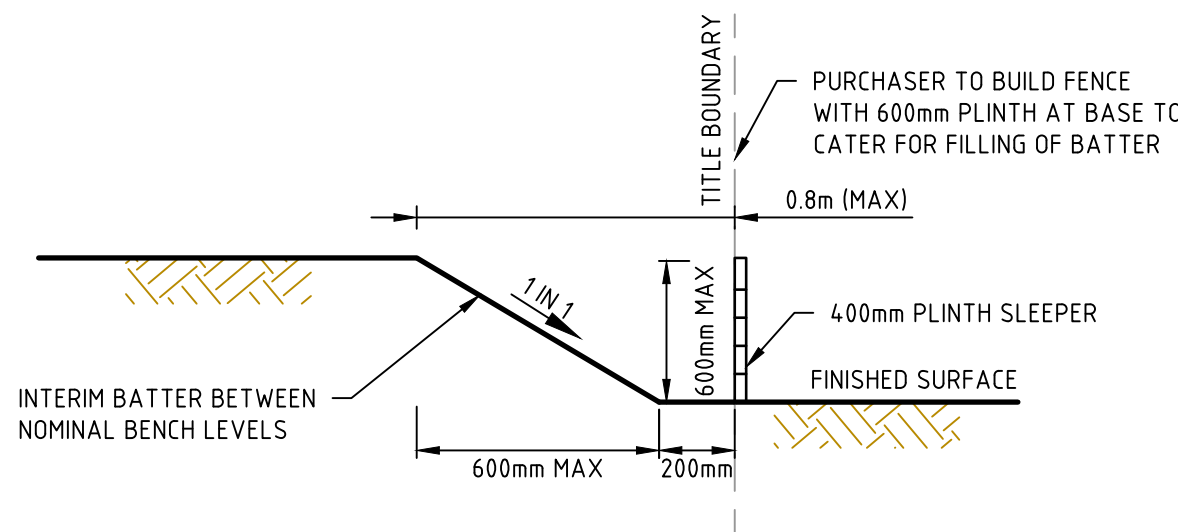
Drg No
322210-001CG201

Rev
G

- NOTES:
1. RETAINING WALLS ARE TO BE COLORBOND.
 2. RETAINING WALL DESIGN SUBJECT TO CHANGE. REFER TO STRUCTURAL DESIGN.

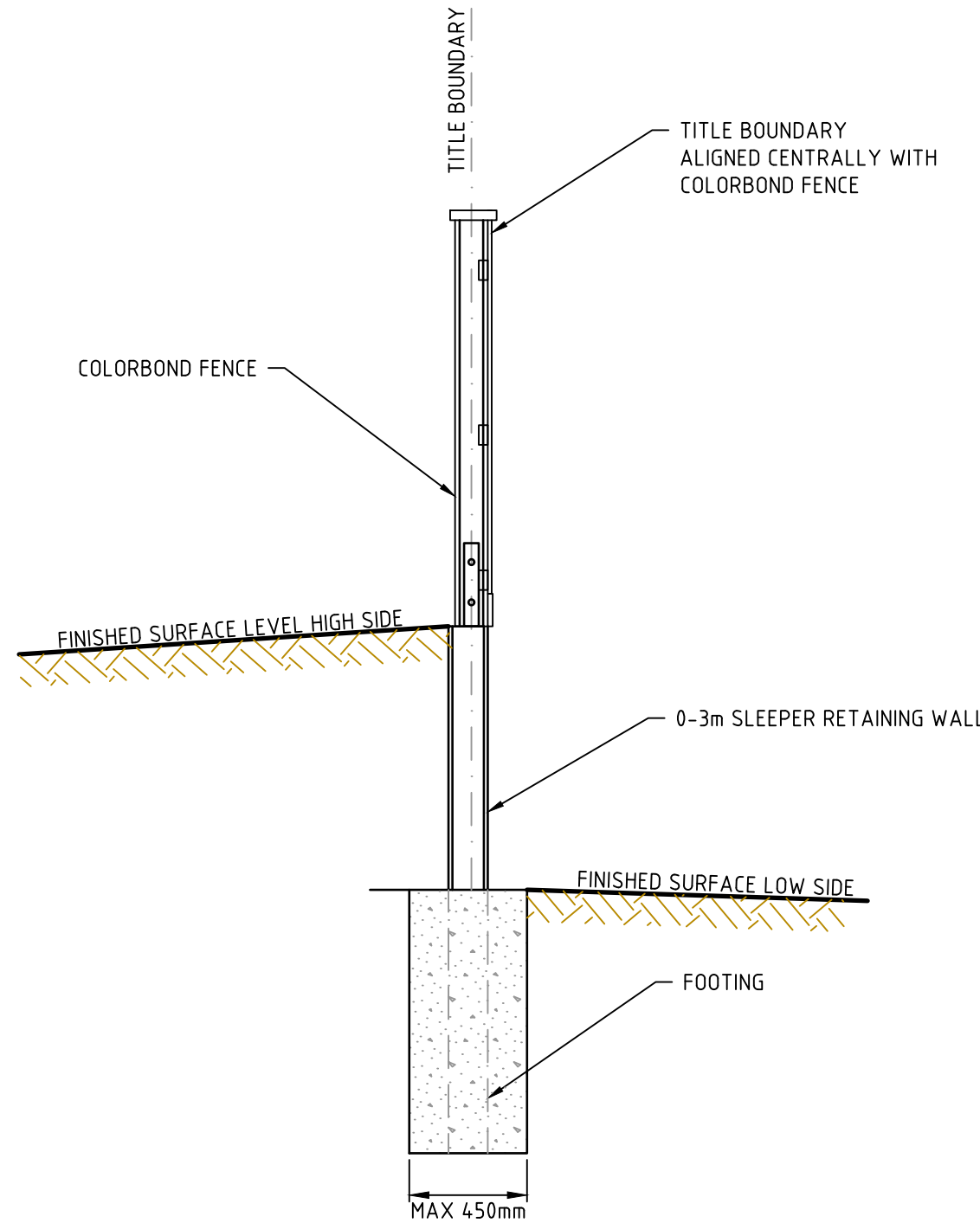


TYPICAL RETAINING WALL ELEVATION AT FRONT OF ALLOTMENTS

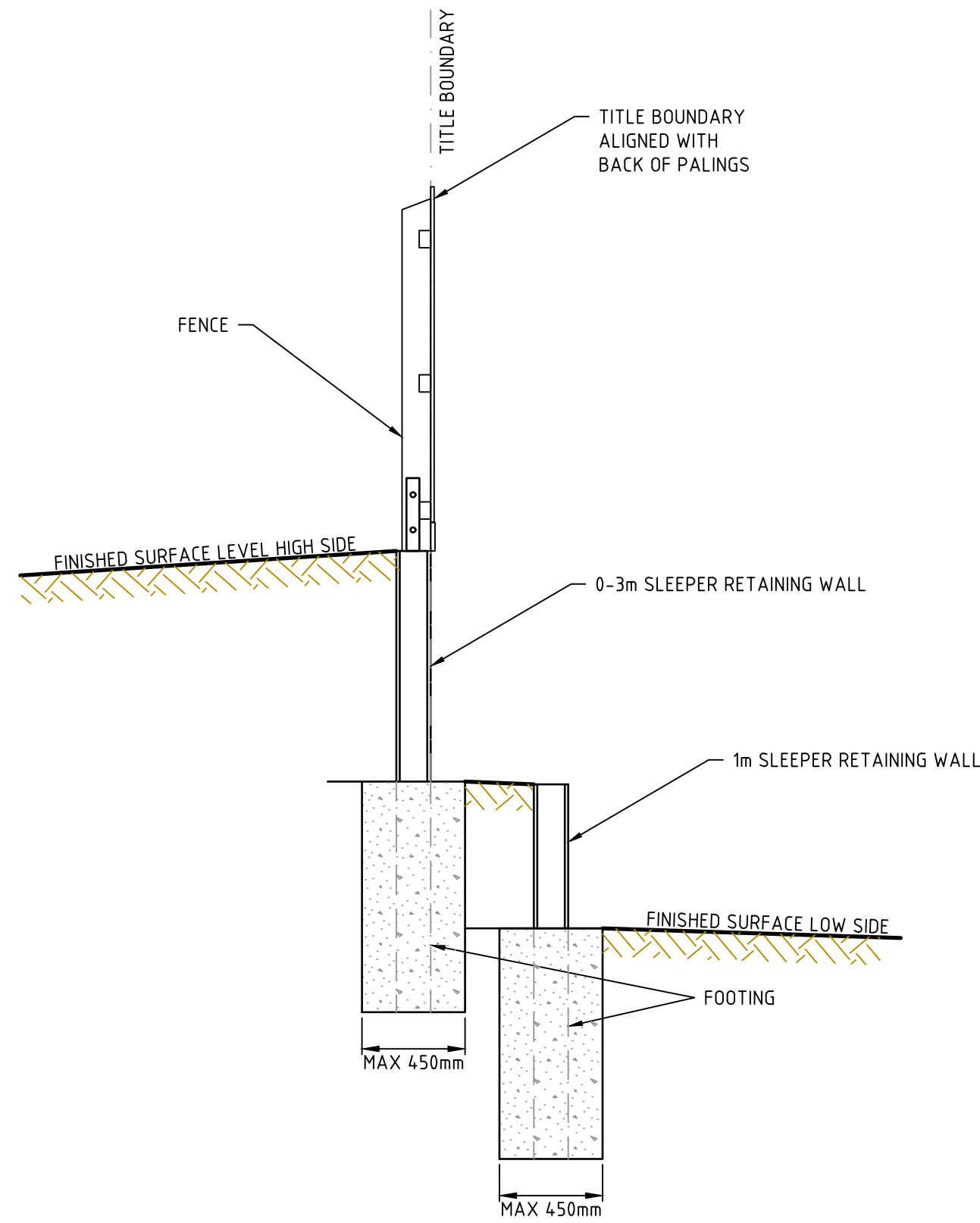


TYPICAL ALLOTMENT BENCHING DETAIL

- NOTE:
1. NOMINAL BENCH LEVELS ARE INDICATIVE ONLY AND TO BE DETERMINED BY BUILDERS FOR INDIVIDUAL ALLOTMENTS. BENCH LEVELS ARE TO THE TOP OF NATURAL SURFACE INCLUDING TOPSOIL.



0-3m RETAINING WALL DETAIL



3-4m STEPPED RETAINING WALL DETAIL

Scale

NOT TO SCALE

© Spiire Australia Pty Ltd All Rights Reserved
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

spiire

Suite 1, Level 2/12 Pirie Street Adelaide
SA 5000 Australia T 08 8330 5000
spiire.com.au ABN 55 050 029 635

LV
LARKVIEW
MT BARKER

Designed
L. SIMONELLI
Authorised
R. DESSENS

Checked
J. POYNER
Date
JUNE 25

**LARKVIEW ESTATE
STAGE 1
LARKVIEW ESTATE
RETAINING WALL DETAIL
MOUNT BARKER DISTRICT COUNCIL
JINDING**

PRELIMINARY Drg No 322210-001CG202 Rev D